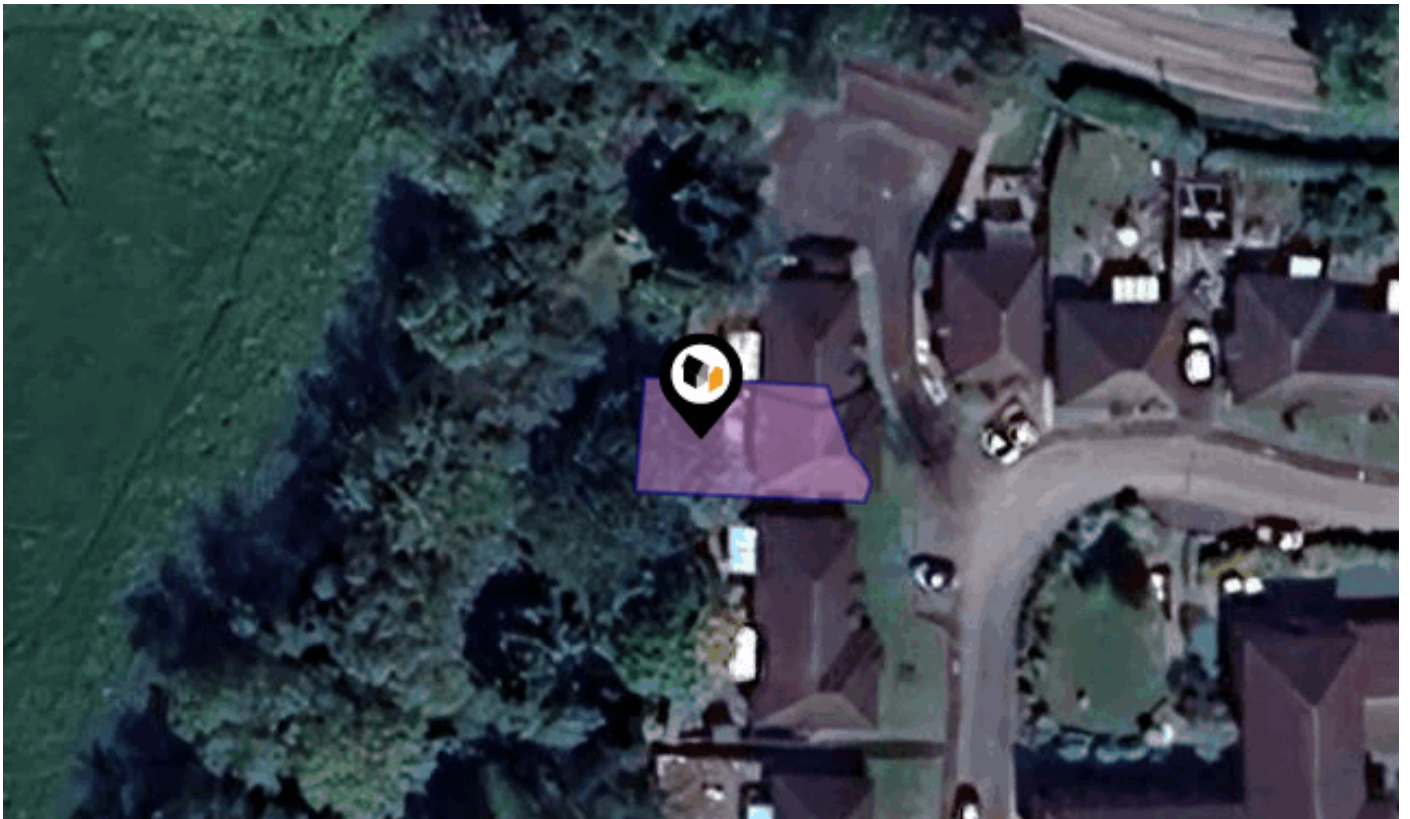




KPF: Key Property Facts

An Analysis of This Property & The Local Area

Thursday 21st March 2024



**7, WILLOW BANK CLOSE, THROCKMORTON, PERSHORE,
WR10 2JW**

Landwood Group

77 Deansgate Manchester M3 2BW

0161 710 2010

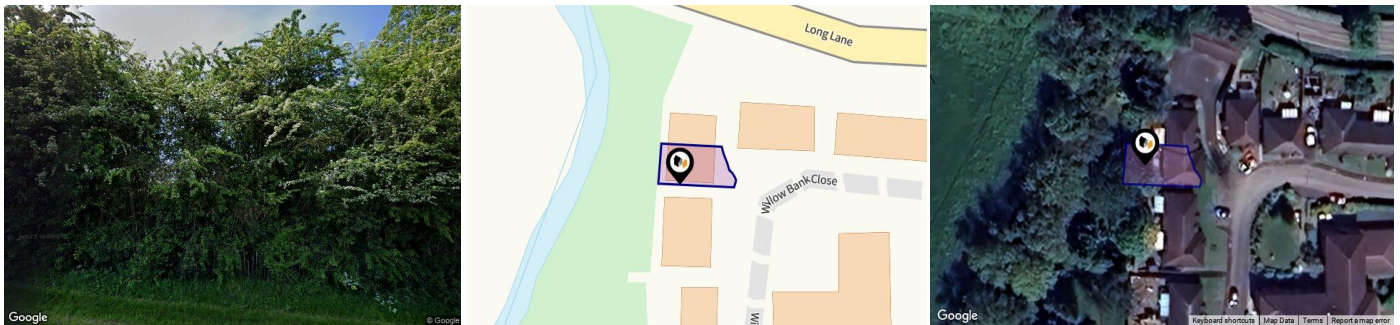
james.ashworth@landwoodgroup.com

<https://landwoodgroup.com/>



Property Overview

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Property

Type:	Semi-Detached	Last Sold Date:	15/02/2013
Bedrooms:	2	Last Sold Price:	£112,000
Floor Area:	678 ft ² / 63 m ²	Last Sold £/ft²:	£162
Plot Area:	0.04 acres	Tenure:	Leasehold
Year Built :	1983-1990	Start Date:	08/06/1989
Council Tax :	Band C	End Date:	25/03/2087
Annual Estimate:	£1,697	Lease Term:	99 years from 25 March 1988
Title Number:	HW85032	Term Remaining:	63 years
UPRN:	200001121262		

Local Area

Local Authority:	Worcestershire
Conservation Area:	No
Flood Risk:	
● Rivers & Seas	Very Low
● Surface Water	Low

Estimated Broadband Speeds (Standard - Superfast - Ultrafast)

4 mb/s	80 mb/s	- mb/s

Mobile Coverage: (based on calls indoors)



Satellite/Fibre TV Availability:



Property Multiple Title Plans

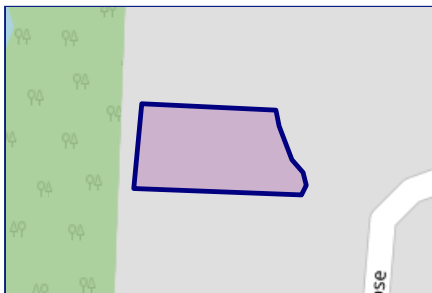
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Freehold Title Plan



WR88116

Leasehold Title Plan



HW85032

Start Date: 08/06/1989
End Date: 25/03/2087
Lease Term: 99 years from 25 March 1988
Term Remaining: 63 years

Property EPC - Certificate

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GROUP

7 Willow Bank Close, Throckmorton, WR10 2JW		Energy rating	
		E	
Valid until 27.04.2033		Certificate number 2271-8641-6605-6808-7582	
Score	Energy rating	Current	Potential
92+	A		
81-91	B		83 B
69-80	C		
55-68	D		
39-54	E	50 E	
21-38	F		
1-20	G		

Property

EPC - Additional Data

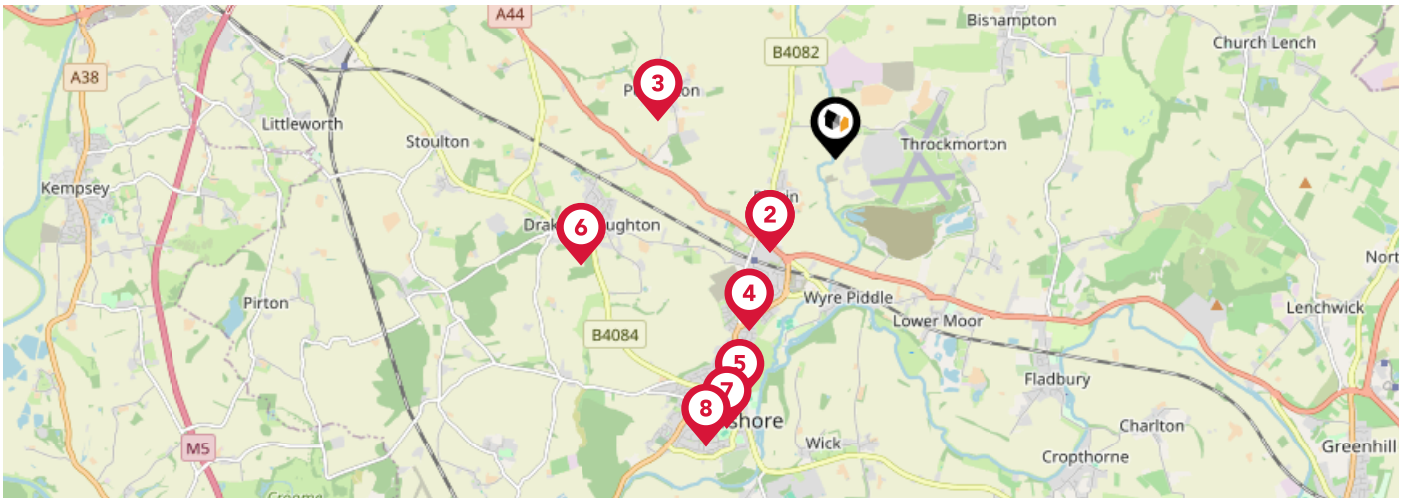
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Additional EPC Data

Property Type:	Bungalow
Build Form:	Semi-Detached
Transaction Type:	Rental
Energy Tariff:	Dual
Main Fuel:	Electricity (not community)
Main Gas:	No
Flat Top Storey:	No
Top Storey:	0
Glazing Type:	Double glazing, unknown install date
Previous Extension:	0
Open Fireplace:	0
Ventilation:	Natural
Walls:	Cavity wall, as built, insulated (assumed)
Walls Energy:	Good
Roof:	Pitched, 100 mm loft insulation
Roof Energy:	Average
Main Heating:	Electric storage heaters
Main Heating Controls:	Manual charge control
Hot Water System:	Electric immersion, off-peak
Hot Water Energy Efficiency:	Average
Lighting:	Low energy lighting in 43% of fixed outlets
Floors:	Solid, no insulation (assumed)
Total Floor Area:	63 m ²

Area Schools

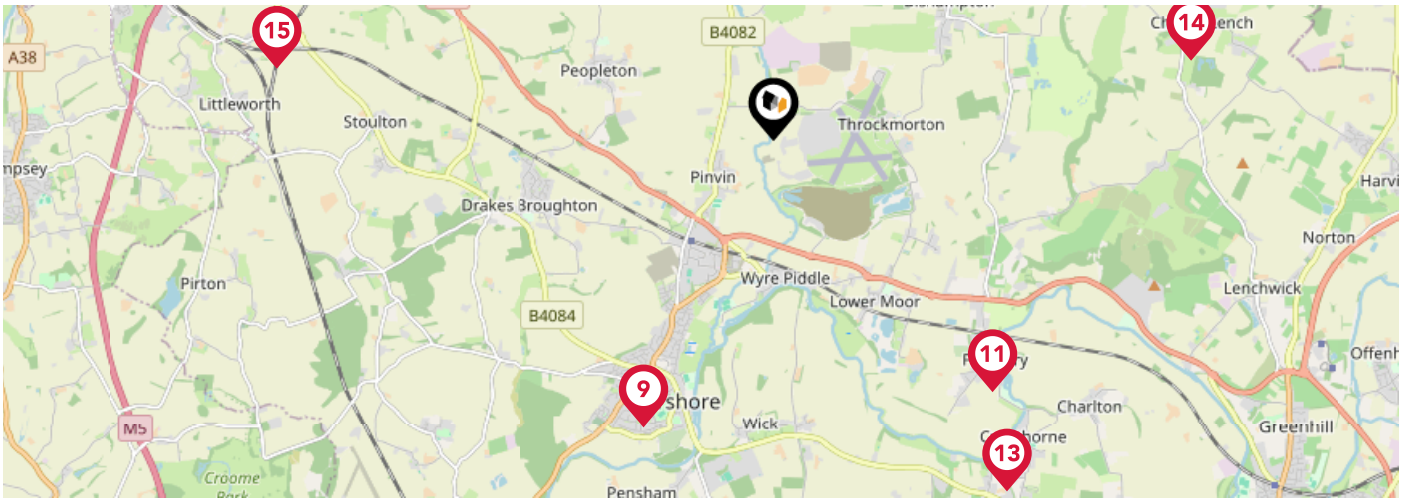
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		Nursery	Primary	Secondary	College	Private
1	Pinvin CofE First School Ofsted Rating: Good Pupils: 121 Distance:1.03	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	St Nicholas' CofE Middle School Ofsted Rating: Requires Improvement Pupils: 296 Distance:1.03	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Bowbrook House School Ofsted Rating: Not Rated Pupils: 217 Distance:1.65	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Pershore High School Ofsted Rating: Good Pupils: 1115 Distance:1.74	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Orchard Primary School Ofsted Rating: Good Pupils: 171 Distance:2.37	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6	St Barnabas CofE First and Middle School Ofsted Rating: Requires Improvement Pupils: 287 Distance:2.5	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Holy Redeemer Catholic Primary School Ofsted Rating: Outstanding Pupils: 185 Distance:2.63	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Abbey Park First and Nursery School Ofsted Rating: Good Pupils: 175 Distance:2.85	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Area Schools

LANDWOOD GROUP

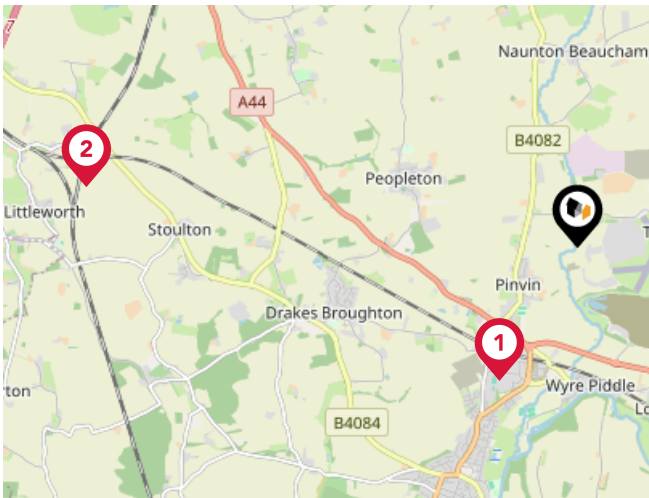


	Nursery	Primary	Secondary	College	Private
<p>9 Abbey Park Middle School Ofsted Rating: Good Pupils: 187 Distance:2.85</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>10 Upton Snodsbury CofE First School Ofsted Rating: Outstanding Pupils: 61 Distance:2.97</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>11 Fladbury CofE First School Ofsted Rating: Good Pupils: 87 Distance:3.03</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>12 Flyford Flavell Primary School Ofsted Rating: Good Pupils: 68 Distance:3.28</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>13 Crothorne-with-Charlton CofE First School Ofsted Rating: Good Pupils: 87 Distance:3.84</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>14 Church Lench CofE First School Ofsted Rating: Outstanding Pupils: 69 Distance:3.88</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>15 Norton College Ofsted Rating: Good Pupils: 73 Distance:4.57</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>16 Crowle CofE First School Ofsted Rating: Good Pupils: 64 Distance:4.67</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Area

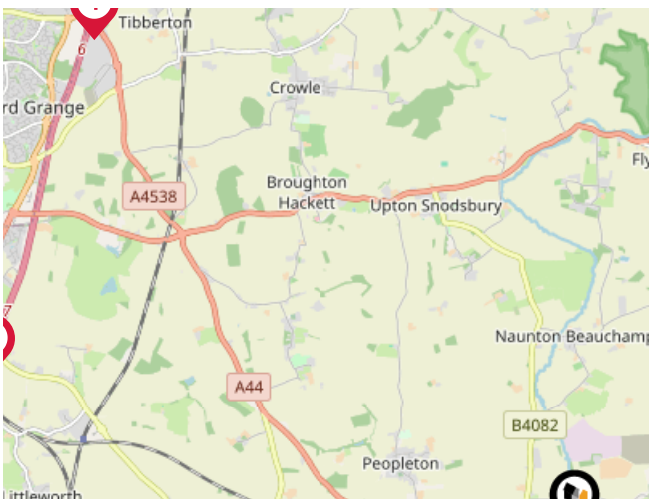
Transport (National)

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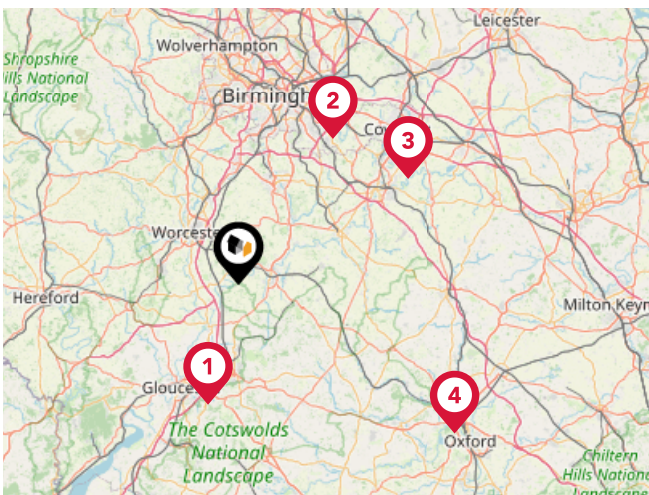
National Rail Stations

Pin	Name	Distance
1	Pershore Rail Station	1.4 miles
2	Worcestershire Parkway Rail Station	4.5 miles
3	Evesham Rail Station	5.71 miles



Trunk Roads/Motorways

Pin	Name	Distance
1	M5 J6	6.26 miles
2	M5 J8	7.52 miles
3	M5 J7	5.51 miles
4	M5 J5	10.04 miles
5	M50 J1	9.08 miles

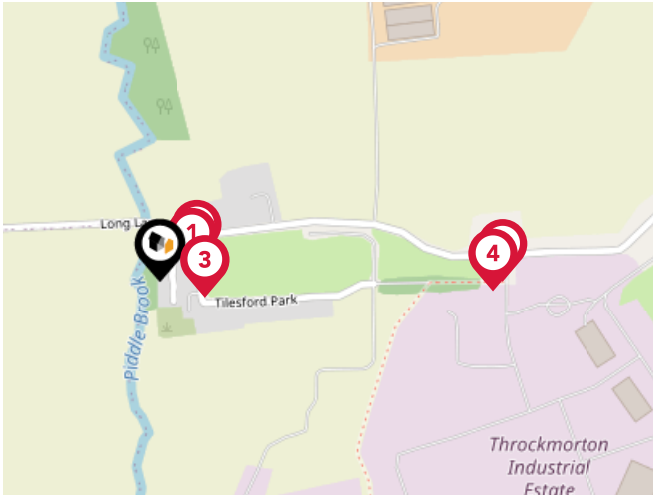


Airports/Helipads

Pin	Name	Distance
1	Gloucestershire Airport	18.18 miles
2	Birmingham International Airport	25.16 miles
3	Coventry Airport	28.89 miles
4	London Oxford Airport	38.41 miles

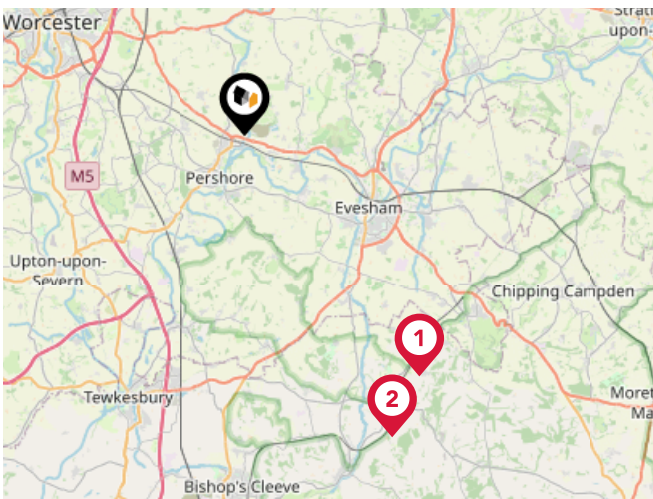
Area

Transport (Local)



Bus Stops/Stations

Pin	Name	Distance
1	Tylesford Park	0.04 miles
2	Tylesford Park	0.05 miles
3	Willowbank Close	0.05 miles
4	Airfield Entrance	0.38 miles
5	Airfield Entrance	0.39 miles



Local Connections

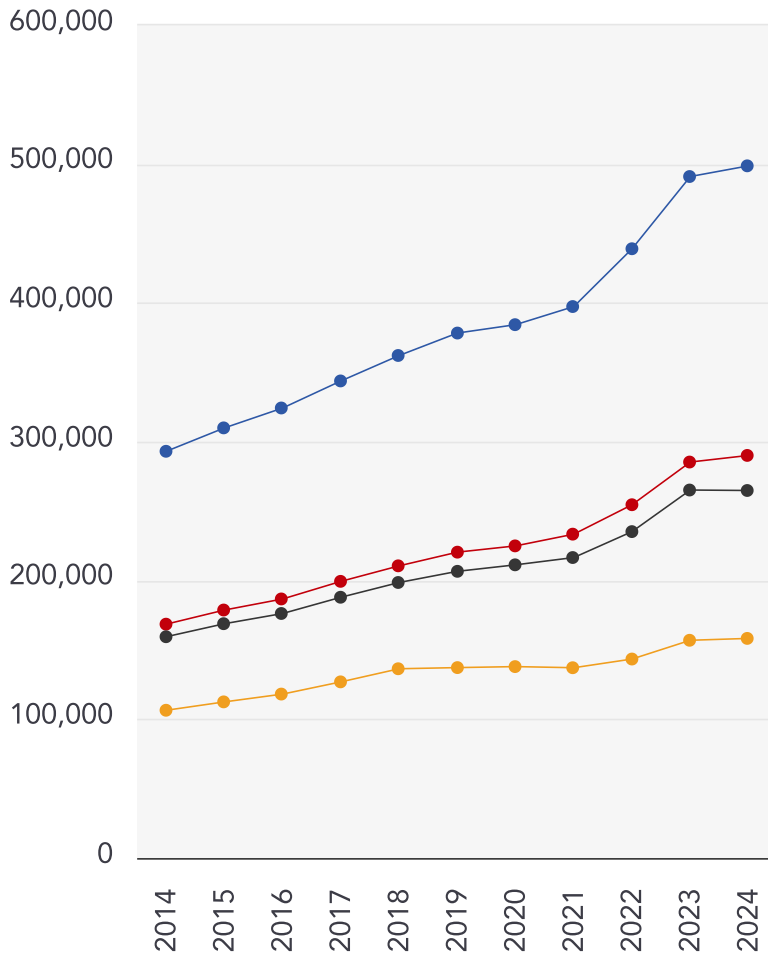
Pin	Name	Distance
1	Laverton (Gloucs Warwicks Railway)	10.86 miles
2	Toddington (Gloucs Warwicks Railway)	12.24 miles

Market

House Price Statistics

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GROUP

10 Year History of Average House Prices by Property Type in WR10



Detached

+70.17%

Semi-Detached

+72.14%

Terraced

+66.07%

Flat

+48.62%

Landwood Group

Data Quality

We are committed to comprehensive property data being made available upfront to make the home buying and selling process quicker, easier and cheaper. This is why we have partnered with Sprift, the UK's leading supplier of property-specific data.



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