

KEY : -

[Purple hatched]	HOUSE TYPE 1	[Cyan hatched]	HOUSE TYPE 6
[Red hatched]	HOUSE TYPE 2	[Light green hatched]	HOUSE TYPE 8
[Orange hatched]	HOUSE TYPE 3	[Brown hatched]	HOUSE TYPE 9
[Pink hatched]	HOUSE TYPE 4	[Yellow hatched]	HOUSE TYPE 10
[Blue hatched]	HOUSE TYPE 5		

- T1 - 3 Bed, 2 Storey, Semi-detached
- T2 - 4 Bed, 2 Storey, Detached
- T3 - 4 Bed, 3 Storey, Town House
- T4 - 2 Bed, Bungalow
- T5 - 2 Bed, Apartment
- T6 - 2 Bed, Apartment
- T8 - 4 Bed, 3 Storey, Town House
- T9 - 4 Bed, 3 Storey, Town House
- T10 - 4 Bed, 3 Storey, Town House

Total 47

Revision	No.	Date
H Updated to suit CI Comments	2	08/02/2019
G Updated to suit new plot numbers	5	22/01/2019
F Updated to suit new Site Layout	4	24/08/2018
E Updated to suit new Site Layout	1	17/07/2018
D Updated to suit Planners comments	6	14/08/2017
C Updated to suit highways comments	18	26/06/2017
B Updated to suit planners comments	3	17/05/2017
A Updated following meeting with planner	4	12/01/2017



Housing Development
 Land off
 Infield Lane
 Sheffield
 Mr E Grant

Proposed
 Site Plan

Richard Mundy Building Design Ltd.
 Travel House, Buxton Road,
 Bakewell, DE45 1BZ
 Tel & Fax: 01629 815053
 e-mail: info@rm-bd.co.uk

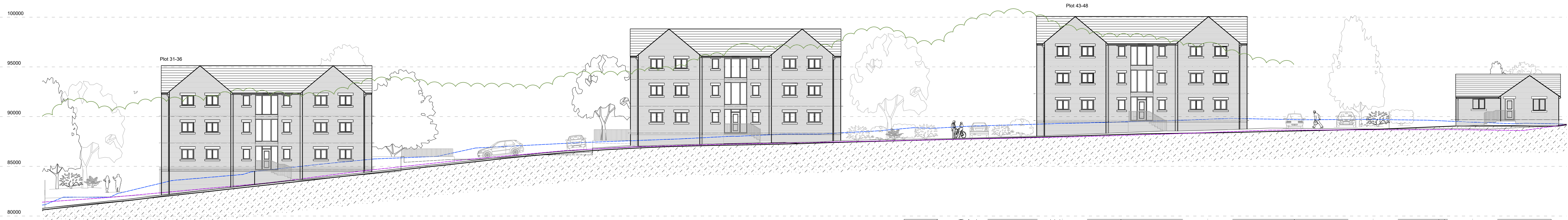
KEY : -

[Blue hatched]	EXISTING ROAD - INFIELD LANE
[Orange hatched]	EXTENT OF CULVERT EASEMENT

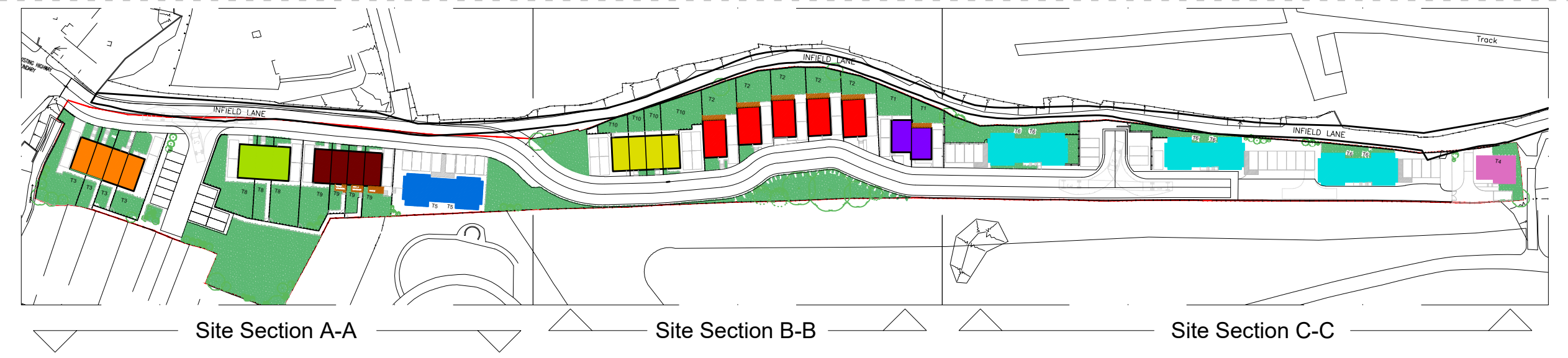
Date: November 2015	Scale:	
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Ref: -	Dwg. No. 1809-02 H	

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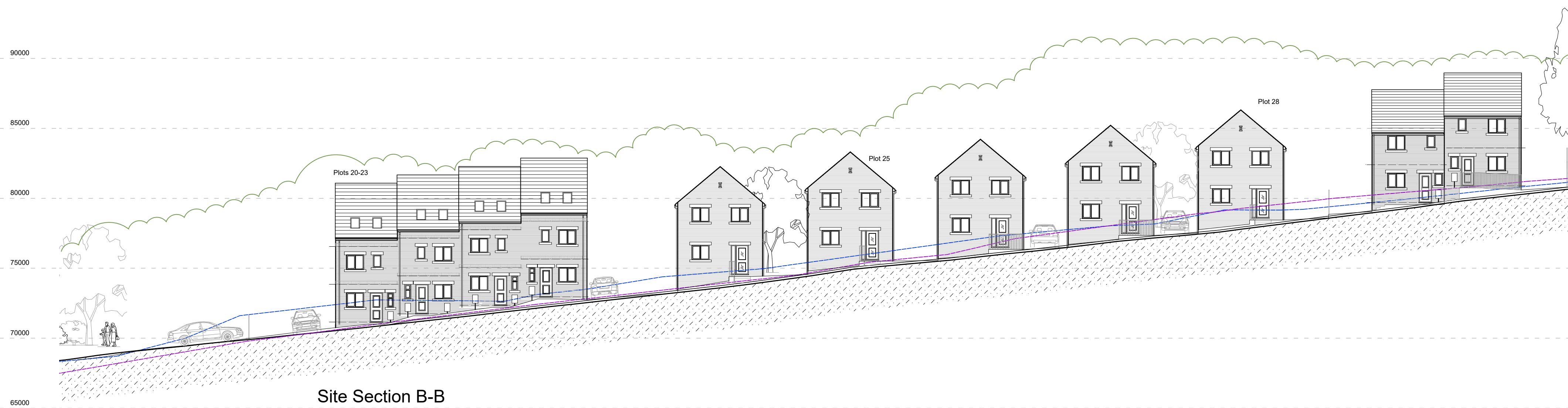
Datum Level



Site Section C-C
scale 1.200 @ A1



Site Section A-A Site Section B-B Site Section C-C
Site Plan Key



Site Section B-B
scale 1.200 @ A1

KEY : -

	EX GROUND LEVEL
	EX ROAD LEVEL
	TREE CANOPY HEIGHT IN PARK
	PR GROUND LEVEL
	PR ROAD LEVEL

Revision	Date
F	08/02/19
E	19/10/18
D	13/07/18
C	14/08/17
B	17/05/17
A	12/01/17

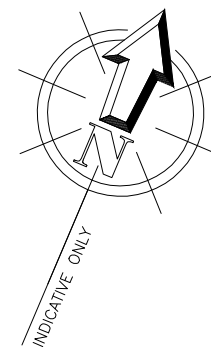


Site Section A-A
scale 1.200 @ A1



New Build		
Land off Infield Lane Sheffield		
Mr E Grant		
Proposed		
Site Sections		
Richard Mundy Building Design Ltd. Travel House, Buxton Road, Bakewell, DE45 1BZ Tel & Fax: 01629 815053 e-mail: info@rm-bd.co.uk		
Date: June 2016	Scale: A3 issue 1.400 A1 issue 1.200	
Ref: JF	Dwg. No. 1809-03F	

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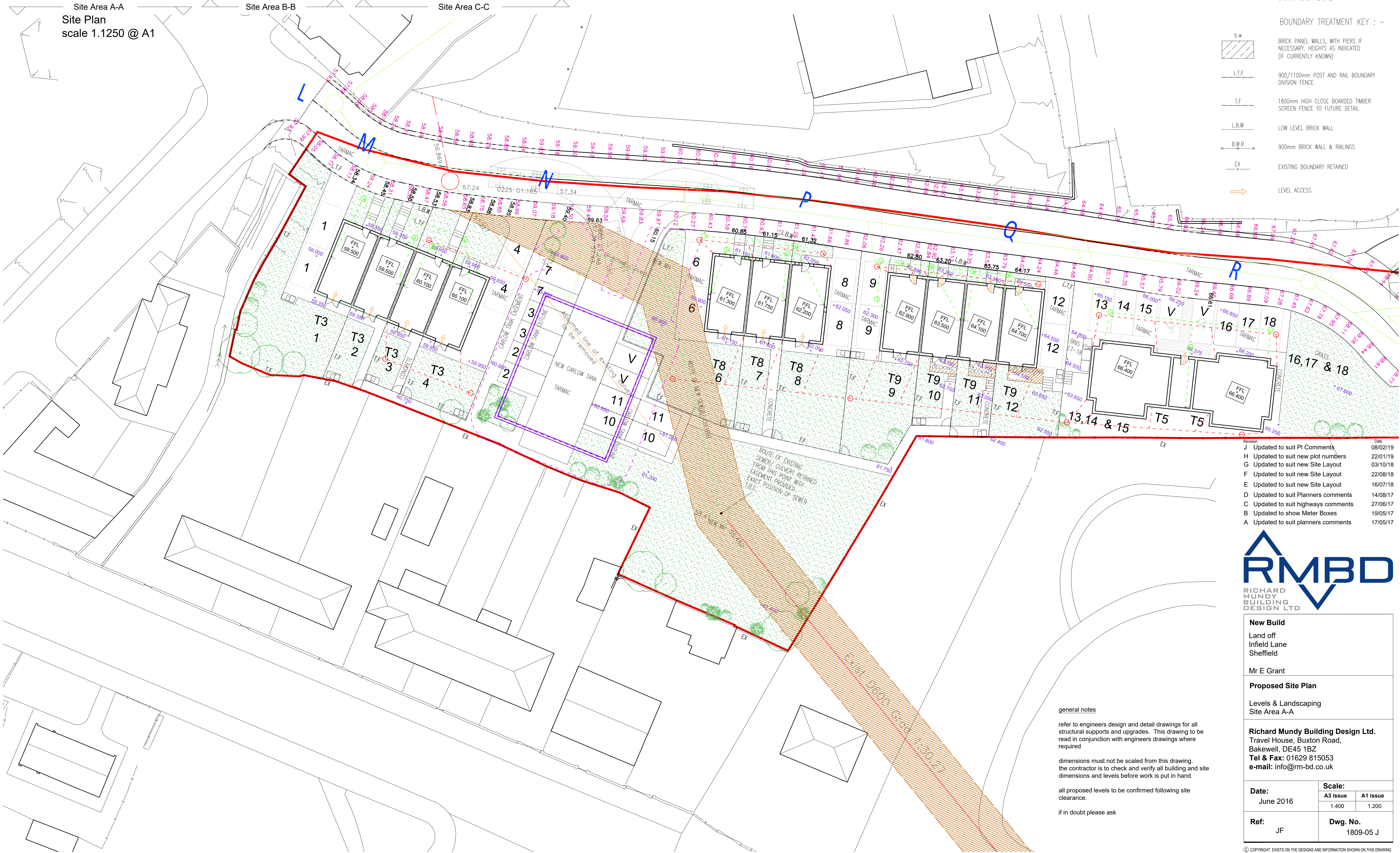
SURFACING -
 ALL PROPOSED ROADS, HARD STANDINGS AND DRIVEWAYS TO BE TARMAC FINISHED.
 ALL PRIVATE PATHWAYS LEADING TO HOUSES TO BE CONCRETE FINISH.
 ALL ROAD MARKING TO CONFORM TO CURRENT HIGHWAYS STANDARDS

LEVELS KEY :-
 00.000 GENERAL GROUND LEVELS
 00.000 PAVEMENT LEVEL
 00.000 ROAD LEVEL

DRAINAGE KEY :-
 AREA OF PROPOSED CARLOW TANK
 NEW CULVERT DIVERSION
 SURFACE WATER DRAINAGE SHOWN INDICATIVE ONLY
 FOUL DRAINAGE SHOWN INDICATIVE ONLY

BOUNDARY TREATMENT KEY :-
 b.w BRICK PANEL WALLS, WITH PIERS IF NECESSARY. HEIGHTS AS INDICATED (IF CURRENTLY KNOWN)
 L.T.F 900/1100mm POST AND RAIL BOUNDARY DIVISION FENCE
 T.F 1800mm HIGH CLOSE BOARDED TIMBER SCREEN FENCE TO FUTURE DETAIL
 L.B.W LOW LEVEL BRICK WALL
 B.W.R 900mm BRICK WALL & RAILINGS
 EX EXISTING BOUNDARY RETAINED
 → LEVEL ACCESS

Site Area A-A
 Site Plan
 scale 1.1250 @ A1



Revision	Updated to suit PI Comments	Date
J	Updated to suit PI Comments	08/02/19
H	Updated to suit new plot numbers	22/01/19
G	Updated to suit new Site Layout	03/10/18
F	Updated to suit new Site Layout	22/08/18
E	Updated to suit new Site Layout	16/07/18
D	Updated to suit Planners comments	14/08/17
C	Updated to suit highways comments	27/06/17
B	Updated to show Meter Boxes	19/05/17
A	Updated to suit planners comments	17/05/17



New Build		
Land off Infield Lane Sheffield		
Mr E Grant		
Proposed Site Plan		
Levels & Landscaping Site Area A-A		
Richard Mundy Building Design Ltd. Travel House, Buxton Road, Bakewell, DE45 1BZ Tel & Fax: 01629 815053 e-mail: info@rm-bd.co.uk		
Date: June 2016	Scale: A3 issue 1.400 A1 issue 1.200	
Ref: JF	Dwg. No. 1809-05 J	

general notes
 refer to engineers design and detail drawings for all structural supports and upgrades. This drawing to be read in conjunction with engineers drawings where required
 dimensions must not be scaled from this drawing. the contractor is to check and verify all building and site dimensions and levels before work is put in hand.
 all proposed levels to be confirmed following site clearance.
 if in doubt please ask

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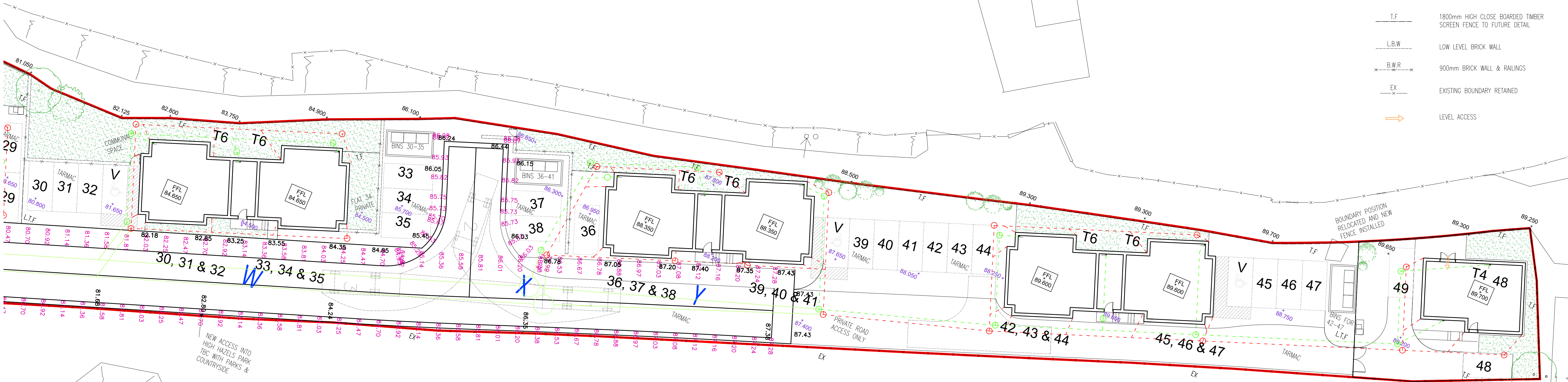
SURFACING –
 ALL PROPOSED ROADS, HARD
 STANDINGS AND DRIVEWAYS TO BE
 TARMAC FINISHED.
 ALL PRIVATE PATHWAYS LEADING TO
 HOUSES TO BE CONCRETE FINISH.
 ALL ROAD MARKING TO CONFORM TO
 CURRENT HIGHWAYS STANDARDS

LEVELS KEY : –
 00.000 GENERAL GROUND LEVELS
 00.000 PAVEMENT LEVEL
 00.000 ROAD LEVEL

DRAINAGE KEY : –
 AREA OF PROPOSED CARLOW TANK
 NEW CULVERT DIVERSION
 SURFACE WATER DRAINAGE
 SHOWN INDICATIVE ONLY
 FOUL DRAINAGE
 SHOWN INDICATIVE ONLY

BOUNDARY TREATMENT KEY : –
 b.w BRICK PANEL WALLS, WITH PIERS IF
 NECESSARY. HEIGHTS AS INDICATED
 (IF CURRENTLY KNOWN)
 L.T.F 900/1100mm POST AND RAIL BOUNDARY
 DIVISION FENCE
 T.F 1800mm HIGH CLOSE BOARDED TIMBER
 SCREEN FENCE TO FUTURE DETAIL
 L.B.W LOW LEVEL BRICK WALL
 B.W.R 900mm BRICK WALL & RAILINGS
 EX EXISTING BOUNDARY RETAINED
 → LEVEL ACCESS

Site Area A-A
 Site Area B-B
 Site Area C-C
Site Plan
 scale 1.1250 @ A1



NEW ACCESS INTO
 HIGH HAZELS PARK
 TBC, WITH PARKS &
 COUNTRYSIDE

PRIVATE ROAD
 ACCESS ONLY

BOUNDARY POSITION
 RELOCATED AND NEW
 FENCE INSTALLED

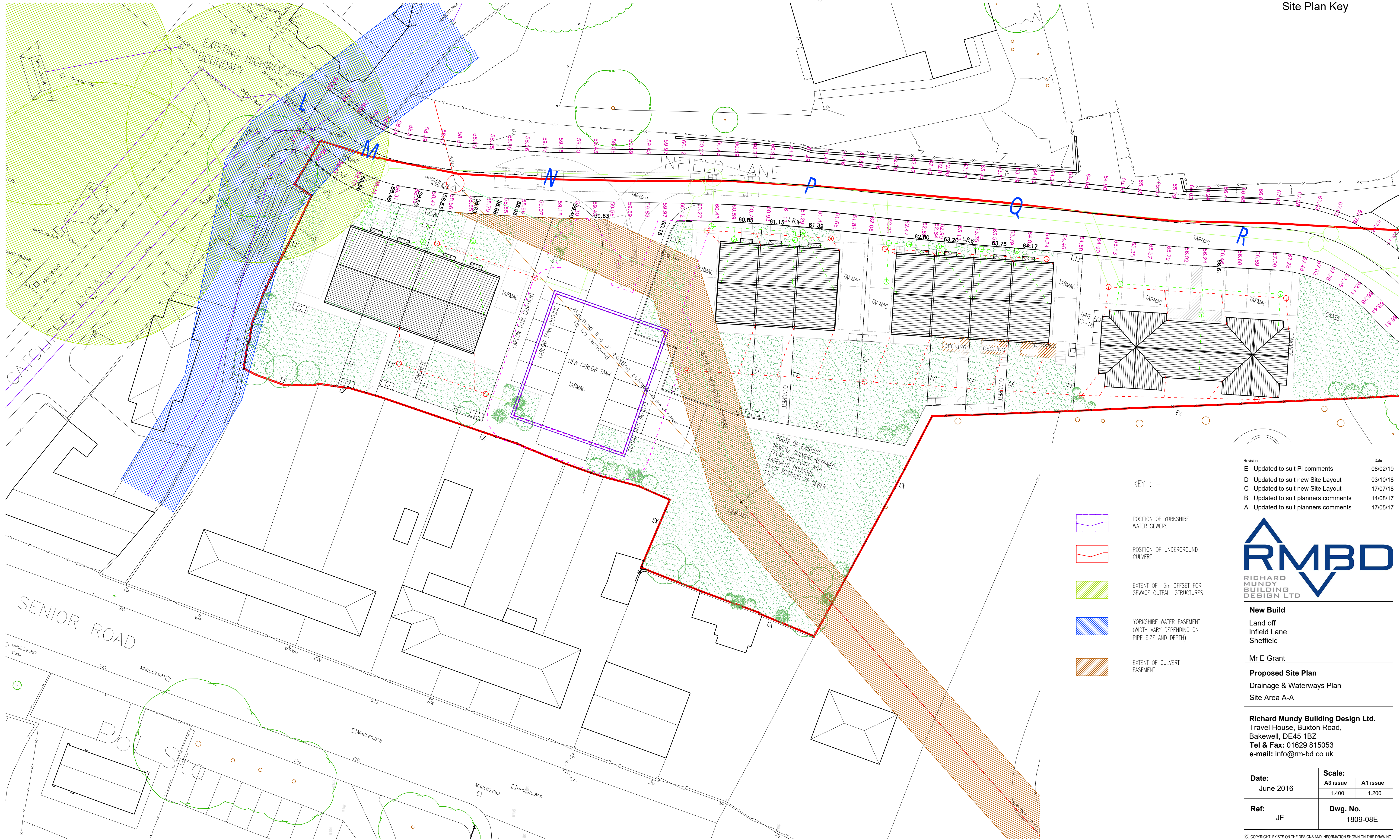
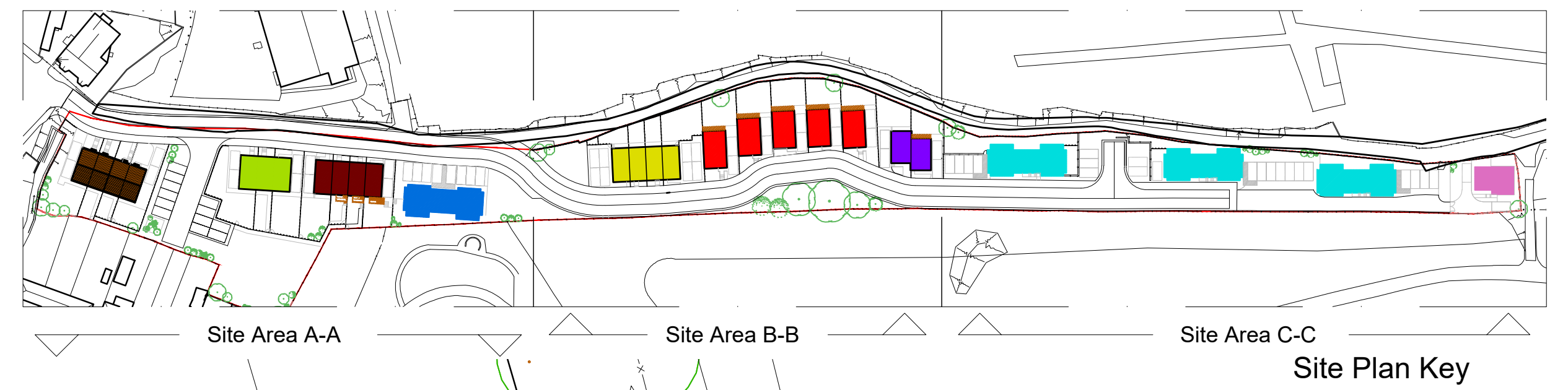
Revision	Date
H Updated to suit PI comments	08/02/19
G Updated to suit new plot numbers	22/01/19
F Updated to suit new Site Layout	03/10/18
E Updated to suit new Site Layout	16/07/18
D Updated to suit Planners comments	14/08/17
C Updated to suit highways comments	27/06/17
B Updated to show Meter Boxes	19/05/17
A Updated to suit planners comments	17/05/17



New Build		
Land off Infield Lane Sheffield		
Mr E Grant		
Proposed Site Plan		
Levels & Landscaping Site Area C-C		
Richard Mundy Building Design Ltd. Travel House, Buxton Road, Bakewell, DE45 1BZ Tel & Fax: 01629 815053 e-mail: info@rm-bd.co.uk		
Date: June 2016	Scale: A3 issue 1.400 A1 issue 1.200	
Ref: JF	Dwg. No. 1809-07 H	

general notes
 refer to engineers design and detail drawings for all
 structural supports and upgrades. This drawing to be
 read in conjunction with engineers drawings where
 required
 dimensions must not be scaled from this drawing.
 the contractor is to check and verify all building and site
 dimensions and levels before work is put in hand.
 all proposed levels to be confirmed following site
 clearance.
 if in doubt please ask

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 or commencing work of any kind. No dimensions to be scaled from this drawing.
 Architect to be notified of any discrepancies in dimensions immediately.



Revision

Revision	Date	
E	Updated to suit PI comments	08/02/19
D	Updated to suit new Site Layout	03/10/18
C	Updated to suit new Site Layout	17/07/18
B	Updated to suit planners comments	14/08/17
A	Updated to suit planners comments	17/05/17

- KEY : -
- POSITION OF YORKSHIRE WATER SEWERS
 - POSITION OF UNDERGROUND CULVERT
 - EXTENT OF 15m OFFSET FOR SEWAGE OUTFALL STRUCTURES
 - YORKSHIRE WATER EASEMENT (WIDTH VARY DEPENDING ON PIPE SIZE AND DEPTH)
 - EXTENT OF CULVERT EASEMENT



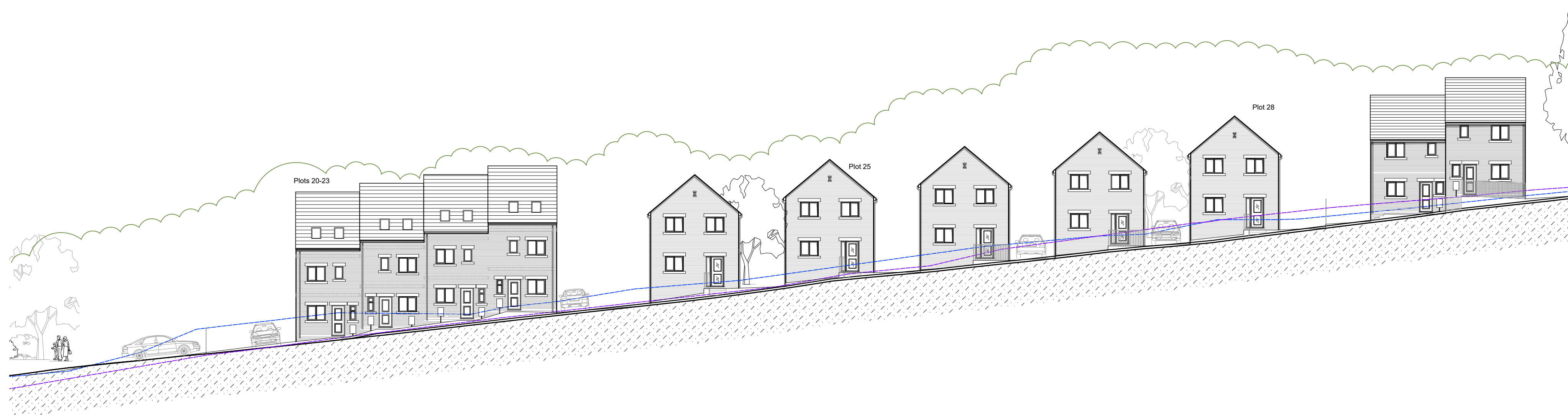
New Build
 Land off
 Infield Lane
 Sheffield

Mr E Grant
Proposed Site Plan
 Drainage & Waterways Plan
 Site Area A-A

Richard Mundy Building Design Ltd.
 Travel House, Buxton Road,
 Bakewell, DE45 1BZ
 Tel & Fax: 01629 815053
 e-mail: info@rm-bd.co.uk






Date:	Scale:	
	A3 issue	A1 issue
June 2016	1:400	1:200
Ref:	Dwg. No.	
JF	1809-08E	

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Street Scene from North West End of High hazels park, viewing plots 20 - 30 and showing the existing tree canopy line.

KEY : -

-  EX GROUND LEVEL
-  EX ROAD LEVEL
-  TREE CANOPY HEIGHT IN PARK
-  PR GROUND LEVEL
-  PR ROAD LEVEL

Revision A Updated to suit new site layout Date 08/02/19



New Build
Land off
Infield Lane
Sheffield

Mr E Grant

Proposed
Street Scenes 1

Richard Mundy Building Design Ltd.
Travel House, Buxton Road,
Bakewell, DE45 1BZ
Tel & Fax: 01629 815053
e-mail: info@rm-bd.co.uk


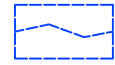

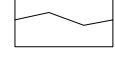
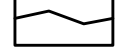
Date: Nov 2017	Scale:	
	A3 issue 1:400	A1 issue 1:200
Ref: JF	Dwg. No. 1809-10A	

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Street Scene from North End of High hazels park, viewing plots 31 - 49 and showing the existing tree canopy line.

KEY : -

-  EX GROUND LEVEL
-  EX ROAD LEVEL
-  TREE CANOPY HEIGHT IN PARK
-  PR GROUND LEVEL
-  PR ROAD LEVEL

Revision A Updated to suit new site layout Date 12/02/19



New Build
Land off
Infield Lane
Sheffield

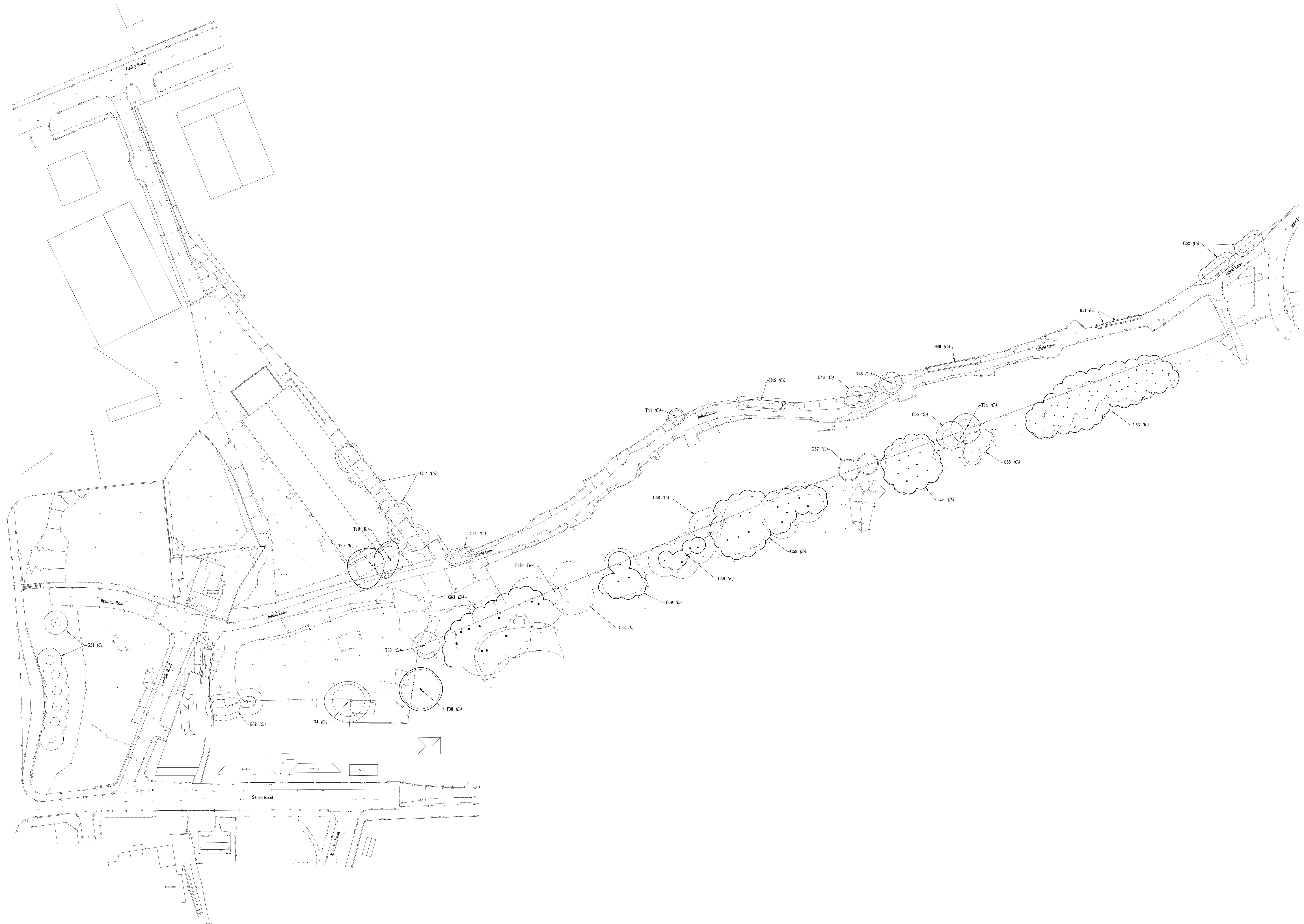
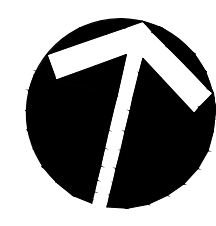
Mr E Grant

Proposed
Street Scene 2

Richard Mundy Building Design Ltd.
Travel House, Buxton Road,
Bakewell, DE45 1BZ
Tel & Fax: 01629 815053
e-mail: info@rm-bd.co.uk

Date: Nov 2017	Scale:	
	A3 issue 1:400	A1 issue 1:200
Ref: JF	Dwg. No. 1809-11A	

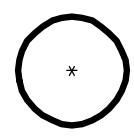
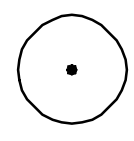
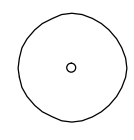
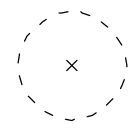
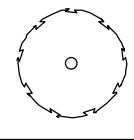
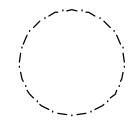
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This drawing has been prepared for the purpose of planning approval.

LEGEND

-  Existing tree, retention categories A1 to A3
-  Existing tree, retention categories B1 to B3
-  Existing tree, retention categories C1 to C3
-  Existing tree, retention category U
-  Additional vegetation - not surveyed
-  Root protection area

Note: Tree retention categories & root protection area as defined by BS 5837:2012

Rev A: Revised following site visit on 21 Sep 18 to re-inspect vegetation - 01Oct18 (MP/j)

Base: Haycock and Todd Ltd, 'Site Survey', S6865 received 15Feb11

PROJECT Infield Lane, Damall, Sheffield

TITLE Existing Trees on Site

CLIENT E Grant Developments Ltd

DATE 27 Feb 12 SCALE 1 : 500 SHEET A0

DRAWN MP/jr DRAWING NO 2314/1

CHECKED MP REVISION A



Chartered Landscape Architects

1 1/2, Court Rosetta Way
York YO18 5XA

Telephone +44 (0)1904 794276
Facsimile +44 (0)1904 780962

Email design@rosettalandscape.co.uk
Web www.rosettalandscape.co.uk

FINISHED GROUND FLOOR LEVEL DIFFERENCES

Plot No.	Approved FFL Level	Proposed FFL Level	Level Difference
1	60.000	59.500	-0.500
2	60.000	59.500	-0.500
3	60.525	60.100	-0.425
4	60.525	60.100	-0.425
6	60.725	61.300	0.575
7	61.250	61.750	0.500
8	61.250	62.200	0.950
9	62.525	62.900	0.375
10	62.525	63.500	0.975
11	63.500	64.100	0.600
12	63.500	64.700	1.200
13-18	65.000	66.400	1.400
19	70.100	71.150	1.050
20	70.475	71.750	1.275
21	72.200	72.350	0.150
22	72.575	72.950	0.375
23	73.850	74.550	0.700
24	75.100	75.600	0.500
25	76.500	76.500	0.000
26	78.200	77.500	-0.700
27	79.500	78.600	-0.900
28	80.750	79.700	-1.050
29	81.125	80.900	-0.225
30-35	83.450	84.650	1.200
36-41	87.450	88.350	0.900
42-47	88.450	89.600	1.150
48	88.850	89.700	0.850

